



CITY OF PANAMA CITY BEACH

Building and Planning Department

BUILDING PERMIT APPLICATION WORKSHEET

Code in effect 8th Edition Florida Building Code (2023)

Project / Job Site Property Information			
Job Site Address: _____	Suite/Unit: _____	Zip Code: _____	
Parcel ID: _____	Lot #: _____	Block #: _____	Flood Zone: _____
Usage / Occupancy Type: _____		Occupancy Load: _____	
Owner Name: _____	Owner Phone No: _____	Owner Address: _____	
Owner Email address: _____	Suite/Unit: _____	Zip Code: _____	

Contractor Information	Architect / Engineer Information
Company Name: _____	Name: _____
Company Address: _____	Address: _____
License Holder Name: _____	Phone No: _____
License #: _____ Phone No: _____	Reg / License #: _____
Email address: _____	Email address: _____

Description of Work	
<input type="checkbox"/> Residential <input type="checkbox"/> Commercial Job Cost \$: _____ Sq Ft of Construction: _____	
Description of Work: _____	

<input type="checkbox"/> New Construction Type of Construction: _____ Number of Floors: _____ Units: _____ Sq Ft U/R: _____ H/C: _____ <input type="checkbox"/> SFD <input type="checkbox"/> Duplex <input type="checkbox"/> Multi-Family	<input type="checkbox"/> Renovation <input type="checkbox"/> Addition <input type="checkbox"/> Windows / Doors / Shutters <input type="checkbox"/> Pool <input type="checkbox"/> Enclosure <input type="checkbox"/> Shed / Carport <input type="checkbox"/> Siding <input type="checkbox"/> Solar Panels	Existing Structure: _____ Property Valuation: _____ Type of Construction: _____ Number of Floors: _____ Units: _____ Sq Ft U/R: _____ H/C: _____
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NOTICE: Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction. I understand that a separate permit must be secured for ELECTRICAL WORK, PLUMBING, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, TANKS, and AIR CONDITIONERS, etc.

OWNER AFFIDAVIT: I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOU PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

The granting of a permit does not presume to give authority to violate or cancel the provisions of any other local, state or federal law regulating construction or the performance of construction. DISCLAIMER: If errors are later discovered, it will be the responsibility of the builder to gain compliance.

(Applicant Signature)

Applicant Name: _____ Date: _____

Applicant: Owner Contractor Authorized Agent

Notary Name _____

Seal

Personally known or I.D. _____

Sworn to (or affirmed) and subscribed before me
 this _____ day of _____ 20 _____,



CITY OF PANAMA CITY BEACH

Building and Planning Department

PLAN REVIEW SUBMITTAL CHECKLIST FOR 1 & 2 FAMILY DWELLINGS BUILDING PERMIT

Date: _____

Parcel Number: _____

JOB ADDRESS: _____

Zip Code: _____

- Completed Plan Review Submittal Checklist
- Completed Building Permit Application **must be notarized*
- Two (2) complete sets of plans, drawn to scale, to include:
 - Site plan (show structures and setbacks)
 - Green space calculation
 - Drawing information
 - Basic wind speed
 - Wind importance factor
 - Wind exposure
 - Applicable internal coefficient
 - Components and cladding
 - Design pressures for windows noted on plans
 - Foundation plan and footing details
 - Floor plan and footing details
 - Wall sections, foundation through roof
 - Roof framing or truss plan
 - Connectors- anchor bolts, hold downs, strapping and nailing schedule.
 - Electrical, plumbing and HVAC plans
 - Window and door schedule
 - Window protectives provided
 - Impact glazing
 - Impact resistant covering
 - Wood structural panels
 - Method of compliance with wind load
 - WFCM 2012
 - Architect or Engineer's design
 - ICC 600-2008
- Flood zone: _____
- Impact fees paid:
 - Water/Sewer receipt
 - Building impact fee
 - Irrigation impact fee
- Septic tank permit approval (when applicable)

continued

- ___ Approval from City Engineer (when applicable)
- ___ Florida Energy Form – 1 copy
- ___ Energy Display Card – 2 copies
- ___ Florida Product Approval Specification Sheet
- ___ Florida Product Worksheet / Affidavit
- ___ Recorded Notice of Commencement (NOC) **must be notarized*
 - Required for improvements of real estate property with a construction cost of \$5,000 or more and must be recorded with the Bay County Courthouse
- ___ Pre-Power Affidavit **must be notarized*
 - Signed by General Contractor and submitted with permit application / plans for review
- ___ Occupancy Affidavit **must be notarized*
- ___ Driveway permit - Can be obtained through the Public Works Department 850-233-5100 x 2400

- Approved site plan must be posted on job site for inspection.
- If the property is in a flood zone, elevation certificates must be submitted to the Building Department after the first slab inspection and after the final building inspection.
- Driveway inspection is required for all new construction accessing City streets.
- An issued building permit is valid as long as there is construction progress and an approved inspection is recorded within each 180 days (6 months) period.
- The following must be completed before a Certificate of Occupancy can be issued:
 - All applicable permits must be issued and have passed inspections, including a driveway permit/inspection.
 - Elevation certificates must be received by the Building Division if the property is in a flood zone.
 - Blower Door Test must be passed and the Blower Door Test Results Form must be completed, notarized, and submitted to the Building Division.
- This checklist may be used for renovation work or additions.

Applicant Signature: _____ Date: _____

Printed Name: _____

Phone Number: _____ Email: _____



CITY OF PANAMA CITY BEACH

Building and Planning Department

FLORIDA PRODUCT APPROVAL

AFFIDAVIT

In complying with the 2023, 8th edition of the Florida Building Code, I _____ as the contractor/builder, attest the structure to be built or renovated at _____ the established standards for performance of products and materials set forth by the product approval guidelines as required by Florida Statute 553.842 and the Florida Administrative Code 9B-72.

Information and approval numbers of the building components will be available at the time of inspection of these products to the inspector on the jobsite: 1) copy of the product approval 2) the performance characteristics which the product was tested and certified to comply with and 3) copy of the applicable manufacturer's installation requirements. Further I understand these products may have to be removed if approval cannot be demonstrated during inspection.

Applicant Signature: _____ Date: _____

Printed Name: _____



CITY OF PANAMA CITY BEACH

Building and Planning Department

PRODUCT APPROVAL SPECIFICATION SHEET

As required by Florida Statute 553.842 and Florida Administrative Code 9B-72, please provide the information and approval numbers on the building components listed below if they will be utilized on the construction project for which you are applying for a building permit. **We recommend you contact your local product supplier should you not know the product approval number for any of the applicable listed products.**

Category/Subcategory	Manufacturer	Product Description	Approval Number(s)
1. Exterior Doors			
A. Swinging			
B. Sliding			
C. Sectional			
D. Roll-up			
E. Automatic			
F. Other			
2. Windows			
A. Single Hung			
B. Horizontal Slider			
C. Casement			
D. Double Hung			
E. Fixed			
F. Awning			
G. Pass Through			
H. Projected			
I. Mullion			
J. Wind Breaker			
K. Dual Action			
L. Other			
3. Panel Walls			
A. Siding			
B. Soffits			
C. EIFS			
D. Storefronts			
E. Curtain Walls			
F. Wall Louver			
G. Glass Block			
H. Membrane			
I. Greenhouse			
J. Other			
4. Roofing Products			
A. Asphalt Shingles			
B. Underlayments			
C. Roofing Fasteners			
D. Non-Structural Metal Roofing			
E. Wood Shingles and Shakes			
F. Roofing Tiles			
G. Roofing Insulation			
H. Waterproofing			
I. Built Up Roofing Roof			
J. Modified Bitumen			
K. Single Ply Roof Systems			

Category/Subcategory		Manufacturer	Product Description	Approval Number(s)
L.	Roofing Slate			
M.	Cements-Adhesives Coatings			
N.	Liquid Applied Roof Systems			
O.	Roof Tile Adhesive			
P.	Spray Applied Polyurethane			
Q.	Other			
5. Shutters				
A.	Accordion			
B.	Bahama			
C.	Storm Panels			
D.	Colonial			
E.	Roll-up			
F.	Equipment			
G.	Other			
6. Skylights				
A.	Skylight			
B.	Other			
7. Structural Components				
A.	Wood Connectors/ Anchors			
B.	Truss Plates			
C.	Engineered Lumber			
D.	Railing			
E.	Coolers-Freezers			
F.	Concrete Admixtures			
G.	Material			
H.	Insulation Forms			
I.	Plastics			
J.	Deck Roof			
K.	Wall			
L.	Sheds			
M.	Other			
8. New Exterior Envelope Products				

The products manufacturer, description, and approval numbers can be obtained from the Florida Department of Community Affairs Building Code information system on the web @ www.floridabuilding.org. I understand that at the time of inspection of these products, the following information must be available to the inspector on the jobsite: 1) copy of the product approval; 2) the performance characteristics which the product was tested and certified to comply with; and 3) copy of the applicable manufacturers installation requirements. Further, I understand these products may have to be removed if approval cannot be demonstrated during inspection.

Applicant Signature: _____ Date: _____
Printed Name: _____



NOTICE OF COMMENCEMENT

Permit No. _____

Parcel No. _____

State of Florida
County of Bay

The undersigned hereby gives **Notice** that improvement will be made to certain real property, and in accordance with Chapter 713, Florida Statutes, the following information is provided in this **Notice of Commencement**.

Description of property (legal description of the property, and street address if available): _____

General description of improvement: _____

Owner Name: _____

Address: _____

Owner's interest in site of the improvement: _____

Fee Simple Titleholder Name: _____

Address: _____

Contractor Name: _____

Address: _____ Phone Number: _____

Payment Bond Surety: _____

Address: _____

Phone Number: _____ Amount of Bond: \$ _____

Lender Name: _____

Address: _____ Phone Number: _____

Person within the State of Florida designated by Owner upon whom **Notices** or other documents may be served as provided by Section 713.13(1) (a) 7., Florida Statutes:

Name _____

Address _____ Phone Number: _____

In addition to himself or herself, Owner designates _____

of _____ to receive a copy of the Lienor's **Notice**

as provided in Section 713.13(1) (b), Florida Statutes. Phone Number: _____

Expiration date of **Notice of Commencement** is one (1) year from date of recording unless a different date is specified _____.

Signature of Owner: _____

This foregoing instrument was acknowledged, sworn to and subscribed before me this _____ day of _____, 20____.
State of: _____ County of: _____.

Signature of Notary Public _____

Notary Seal

Printed Name: _____

Personally Known _____ or Produced ID _____ Type of ID Produced _____

WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE CONSIDERED IMPROVER PAYMENTS UNDER CHAPTER 713, PART I, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE COMMENCING WORK ON RECORDING YOUR NOTICE OF COMMENCEMENT.



CITY OF PANAMA CITY BEACH

Building and Planning Department

FINISHED FLOOR ELEVATION AFFIDAVIT

Date: _____

Master Permit #: _____

JOB ADDRESS: _____

Zip Code: _____ Unit #: _____

I _____,
(print name)

Homeowner Contractor for: _____

hereby verify that the finished floor elevation for all building structures, both habitable and non-habitable, on the parcel noted below, meets the requirements noted on the recorded plat and/or approved subdivision drainage plan. In the absence of a predetermined FFE, the finished floor elevation for all building structures must meet the requirements of the City of Panama City Beach Engineering and Land Development Code requirements which state: The first floor living area shall be no less than **12 inches** above the crown of the road at the highest point of the road or top of curb along the lot frontage, whichever is more restrictive all as determined by the City Engineer. (per Sec 3.05.06 and Sec 4.03.02)

_____ and _____
(Job Site Address) (Parcel ID Number)

X _____
Signature of Owner / Contractor by (Print Name) _____

STATE OF FLORIDA, COUNTY OF _____

Sworn to (or affirmed) and subscribed before me

Notary Name/Seal _____

this _____ day of _____ 20 _____, Personally known or I.D. _____



CITY OF PANAMA CITY BEACH

Building and Planning Department

LOT GRADING & DRAINAGE PLAN

SINGLE FAMILY DWELLINGS

Code in effect 8th Edition Florida Building Code (2023)

Project / Job Site Property Information			
Job Site Address: _____	Suite/Unit: _____	Zip Code: _____	
Parcel ID: _____	Lot #: _____	Block #: _____	Flood Zone: _____
Owner Name: _____		Owner Phone No: _____	Owner Address: _____
Owner Email address: _____		Suite/Unit: _____	Zip Code: _____

Contractor Information
Company Name: _____
Company Address: _____
License Holder Name: _____
License #: _____ Phone No: _____
Email address: _____

Architect / Engineer Information
Name: _____
Address: _____
Phone No: _____
Reg / License #: _____
Email address: _____

Lot Grading Detail	
Flood Zone: _____	
Base Flood Elevation (BFE): _____	
Source of BFE Data: _____	
Finished Floor Elevation (FFE): _____	
Grading Type: <input type="checkbox"/> A <input type="checkbox"/> B <input type="checkbox"/> C	
*Confirm type with following illustrations	

A separate drainage plan must be included with this application.

Drainage Plan requirements*:

1. Name, address, and telephone number of the applicant.
2. Location map and/or aerial photograph of the development site, which clearly outlines project boundaries.
3. Boundary and topographic survey, including the location of all easements, rights of way, and Coastal Setback Line or Coastal Construction Control Line as appropriate. Topographic survey to extend by a minimum of ten (10) feet beyond the property line. Must show highest point of the crown of the road or top of curb along the lot frontage.
4. Flood zone determination from the Flood Insurance Rate Maps.
5. Elevations of any flood zone along with the flood hazard boundaries shall be delineated on the drainage plans. For structures located in FEMA Special Flood Hazard Areas, include the Engineer's determined Base Flood Elevation. (For Special Flood Hazard Areas without base flood elevations see 3.02.05(B))
6. The grading and drainage plans shall include existing and proposed finished grade contours at one (1) foot elevation intervals. Flow arrows indicating the Stormwater runoff directions.
7. A detailed description of the method of conveying stormwater from impervious surface to the Right of Way with elevations and dimensions.

*Drainage plans must bear the stamp of a Florida Licensed Professional Engineer.



CITY OF PANAMA CITY BEACH

Building and Planning Department

GENERAL NOTES:

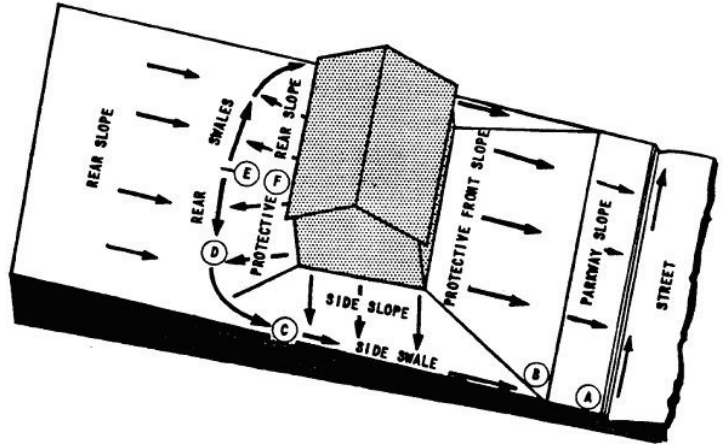
1. Except as noted, building pad grading to be performed by house contractor after completion of subdivision improvements.
2. All finish floor elevation shall be minimum of 8" above the highest grade adjacent to the building pad. See current building code. All grading type A & B lot finish floors shall be at least 1.0 ft above the road crown along lot frontage.
3. Meander swales around specimen trees and do not disturb wetland vegetation.

SELECT ONE LOT GRADING PLAN

A TYPE "A" LOT GRADING ALL DRAINAGE TO STREET

Rear yard swales behind the house carry surface water from rear yard to side yard swales (1% minimum) which carry it to street for disposal through the street gutters and the public storm drainage system.

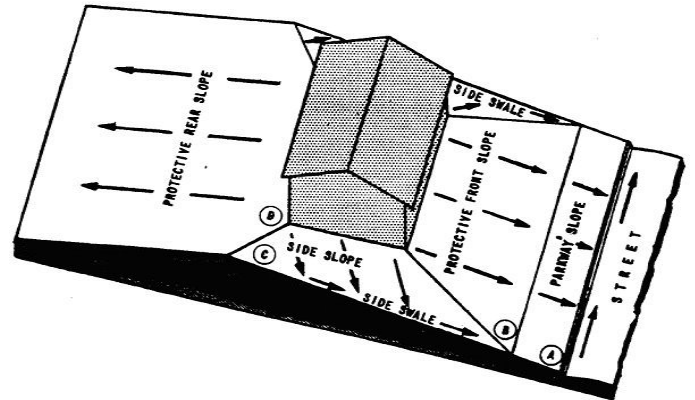
- A Curb-top on lot line extension at highest lot corner.
- A-B Right of way slope
- B-C Side yard swale
- C-D Swale turn with 10' radius
- D-E Rear swale
- E-F Protective rear slope up from high point of swales



B TYPE "B" LOT GRADING DRAINAGE BOTH TO STREET & TO REAR LOT LINE

Only side swales are needed to drain both to the street and to the rear lot line. They should extend back of the line of the rear building wall; then splash blocks from rear roof downspouts should be placed to direct roof water to the side swales for drainage directly to the abutting street. Thus the amount of water carried on the rear slope to easements or other properties is kept as small as possible. This reduces erosion and disposal problems.

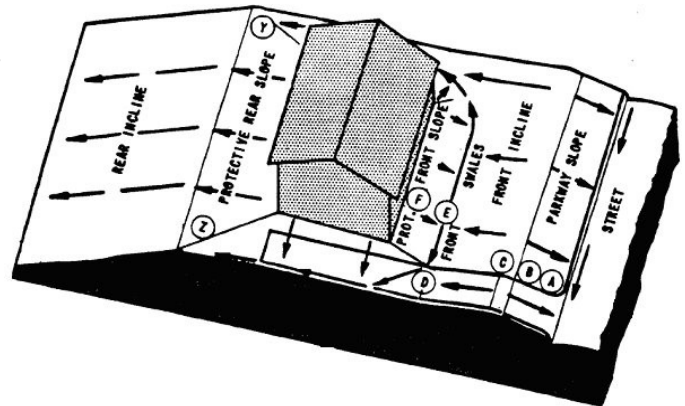
- A Curb-top on lot line extension at highest lot corner
- A-B Right of way slope
- B-C Side swale
- C-D Protective side slope at extension of rear wall



C TYPE "C" LOT GRADING ALL DRAINAGE TO REAR LOT LINE

Front swales are essential to carry surface water from the front yard to side-yard swales which carry it to the rear for disposal in easements or across other properties. Proper cross-section of the street gutter, curb and parkway strip are essential to stop street water from flowing onto the lot.

- A Curb-top at high side of driveway near low lot corner
- A-B Right of way slope
- B Driveway grade change from upgrade drive in street to downgrade drive on lot
- C-D Driveway downgrade point out from front of building
- D-E Front swale
- E-F Protective front slope from highpoint of swales





CITY OF PANAMA CITY BEACH

Building and Planning Department

OWNER ACKNOWLEDGEMENT OF STORMWATER REQUIREMENTS FOR INFILL LOTS

Requirements of the City's LDC Section 4.02.02.D.7 include, but are not limited to, the following:

7. A vacant lot located within a subdivision without an approved stormwater management plan must additionally comply with the following standards:

- (a) No impervious surface is permitted within five (5) feet of a property line;
- (b) A swale shall be constructed within the entire limits of the adjacent right-of-way consisting of grass seed or sod and a minimum depth of six (6) inches;
- (c) The roof shall be designed to drain toward swales (roof drains may be required when necessary);
- (d) Lot grading shall not be directed towards adjacent properties;
- (e) Stem wall construction may be required by the Public Works Department in Special Flood Hazard Areas or on lots where adjacent property elevations differentiate by six (6) inches or more;
- (f) The City may approve a pool deck to be installed up to the rear property line subject to additional requirements to adequately mitigate stormwater runoff. Grading away from adjacent lots and a combination of deck drains or catch basins installed to control runoff may be required. A retaining wall may be required for elevation changes of six (6) inches or more with an adjacent property.
- (g) Prior to the issuance of any Development Order or Building Permit, the applicant shall submit a grading and drainage plan, subject to the approval of the Public Works Department, designed to prevent excess stormwater runoff in a 100-year flood event of critical duration which shall bear the stamp of a Florida Licensed Professional Engineer. The Building Department shall not issue a certificate of occupancy without receipt of an As-Built Survey, bearing the stamp of a Florida Licensed Professional Land Surveyor and a letter, bearing the stamp of a Florida Licensed Professional Engineer certifying that the drainage plans were built as designed, subject to the review of the Public Works Department.

I have read and understand the additional requirements for a vacant lot located in a subdivision without an approved stormwater master plan and that other Land Development Code requirements may also be applicable for the proposed development.

(Ord. #1623)

Property Address: _____

Print Name of Property Owner: _____ Owner is builder

Signature of Owner: _____ Date: _____

STATE OF FLORIDA, COUNTY OF _____ Notary Name _____

Seal

Sworn to (or affirmed) and subscribed before me

this _____ day of _____ 20____, Personally known or I.D. _____



CITY OF PANAMA CITY BEACH

Building and Planning Department

CONTRACTOR ACKNOWLEDGEMENT OF STORMWATER REQUIREMENTS FOR INFILL LOTS

Requirements of the City's LDC Section 4.02.02.D.7 include, but are not limited to, the following:

7. A vacant lot located within a subdivision without an approved stormwater management plan must additionally comply with the following standards:

- (a) No impervious surface is permitted within five (5) feet of a property line;
- (b) A swale shall be constructed within the entire limits of the adjacent right-of-way consisting of grass seed or sod and a minimum depth of six (6) inches;
- (c) The roof shall be designed to drain toward swales (roof drains may be required when necessary);
- (d) Lot grading shall not be directed towards adjacent properties;
- (e) Stem wall construction may be required by the Public Works Department in Special Flood Hazard Areas or on lots where adjacent property elevations differentiate by six (6) inches or more;
- (f) The City may approve a pool deck to be installed up to the rear property line subject to additional requirements to adequately mitigate stormwater runoff. Grading away from adjacent lots and a combination of deck drains or catch basins installed to control runoff may be required. A retaining wall may be required for elevation changes of six (6) inches or more with an adjacent property.
- (g) Prior to the issuance of any Development Order or Building Permit, the applicant shall submit a grading and drainage plan, subject to the approval of the Public Works Department, designed to prevent excess stormwater runoff in a 100-year flood event of critical duration which shall bear the stamp of a Florida Licensed Professional Engineer. The Building Department shall not issue a certificate of occupancy without receipt of an As-Built Survey, bearing the stamp of a Florida Licensed Professional Land Surveyor and a letter, bearing the stamp of a Florida Licensed Professional Engineer certifying that the drainage plans were built as designed, subject to the review of the Public Works Department.

I have read and understand the additional requirements for a vacant lot located in a subdivision without an approved stormwater master plan and that other Land Development Code requirements may also be applicable for the proposed development.

(Ord. #1623)

Property Address: _____

Print Name of Contractor: _____ Contractor is property owner

Signature of Contractor: _____ Date: _____

STATE OF FLORIDA, COUNTY OF _____ Notary Name _____

Seal

Sworn to (or affirmed) and subscribed before me

this _____ day of _____ 20____, Personally known or I.D. _____



CITY OF PANAMA CITY BEACH

Building and Planning Department

PRE POWER AFFIDAVIT

Date: _____

Master Permit #: _____

JOB ADDRESS: _____

Zip Code: _____ Unit #: _____

Contractor: _____

Phone Number: _____

PRE-POWER AFFIDAVIT

**STATE OF FLORIDA
COUNTY OF BAY**

I, _____, the General Contractor, agree and accept all responsibilities to have Temporary Power turned on to allow for inspections of all electrical circuits. No personal effects or persons shall occupy the structure prior to receiving a Certificate of Occupancy at:

Permit Number _____,

At any time prior to the issuance of a Certificate of Occupancy, we, authorize the Panama City Beach Building Division to have power disconnected from the building or premises noted above.

X

Signature of Applicant

by (Print Name) _____

STATE OF FLORIDA, COUNTY OF _____

Sworn to (or affirmed) and subscribed before me

Notary Name/Seal _____

this _____ day of _____ 20 _____,

Personally known or I.D. _____



CITY OF PANAMA CITY BEACH

Building and Planning Department

OCCUPANCY AFFIDAVIT

Date: _____	Master Permit #: _____
JOB ADDRESS: _____	Zip Code: _____ Unit #: _____

I _____, (print name)

Homeowner Contractor* * License Number: _____ (if applicable)

understand that the development of _____ and _____ (Job Site Address) (Parcel ID Number)

is being permitted as a residential single family dwelling under the 8th Edition Florida Building Code (2023). If at any time this structure has a change of occupancy, the structure will be required to adapt to any and all pertinent building and fire safety codes in relation to that change.

X _____ by (Print Name) _____ Signature of Applicant

STATE OF FLORIDA, COUNTY OF _____ Sworn to (or affirmed) and subscribed before me this _____ day of _____ 20 _____, Personally known or I.D. _____ Notary Name/Seal _____



CITY OF PANAMA CITY BEACH

Building and Planning Department

BLOWER DOOR TEST RESULTS FORM

Property Information

Master Permit #: _____

Property Address: _____ Suite/Unit: _____ Zip Code: _____

Parcel ID: _____ Owner Name: _____

Air Leakage Test Results

FBC Energy R402.4.1.2 Compliance

$$\frac{\text{CFM}(50)}{\text{Building Volume}} \times 60 \div \text{ACH}(50) =$$

Pass

Fail

When ACH(50) is less than 3, Mechanical Ventilation installation must be verified by Building Department.

Method for calculating building volume:

Retrieved from architectural plans

Code software calculated

Field measured and calculated

Certification of Test Results

R402.4.1.2 Testing. The building or dwelling unit shall be tested and verified as having an air leakage rate of not exceeding 7 air changes per hour in Climate Zones 1 and 2, and 3 air changes per hour in Climate Zones 3 through 8. Testing shall be conducted in accordance with ANSI/RESNET/ICC 380 and reported at a pressure of 0.2 inches w.g. (50 Pascals). Testing shall be conducted by either individuals, as defined in Section 553.993(5) or (7), F.S. or individuals licensed as set forth in Section 489.105(3)(f), (g), or (i) or an approved third party. A written report of the results of the test shall be signed by the party conducting the test and provided to the code official. Testing shall be performed at any time after creation of all penetrations of the building thermal envelope.

Testing Company

Company Name: _____ Phone: _____

Printed Name of Tester: _____ License/Certification#: _____

I hereby certify that the above Air Infiltration Test results demonstrate compliance with Florida Energy Code requirements in accordance with the Florida Building Code-Energy Conservation 7th Edition (2020) R402.4.1.2.

(Tester Signature)



CITY OF PANAMA CITY BEACH

Building and Planning Department

IMPORTANT INFORMATION FOR THOSE WHO BUILD ON PROPERTIES IN SPECIAL FLOOD HAZARD AREAS “A” AND “V” ZONES

A special flood hazard area is where FEMA has determined that there is a greater chance for flooding to occur. The effective FEMA map is dated June 16, 2009. When building in these areas, two additional documents will be needed for your file and certain procedures must be followed. Failure to follow them could result in substantial extra costs and delays.

A suggested first step when building in these areas is to obtain a licensed land surveyor. He or she will first determine the Base Flood Elevation (BFE) of the area. This is the expected highest level of the water during a flood. He or she then places a “benchmark” on the property, which is used to determine how high this flood water level will be on your property.

- **The top of floor is based on this elevation.**
- **For manufactured homes approved by HUD, only a final elevation certificate is required.**
- **For site built homes, two elevation certificates are required. One at foundation placement and one at completion of construction.**

In the City of Panama City Beach, your lowest floor must be 1 foot above the BFE. Immediately after your slab is poured (or joists and girders installed for framed floor systems), the surveyor must then prepare a document called an “Elevation Certificate” (EC) that will verify your building floor is in compliance.

- **Don’t wait to get this first Elevation Certificate.**

It is important to get this first EC done soon after the floor is finished because, if for any reason, the floor is too low (below BFE), **it will have to be raised to the proper level.**

- **NOTE: Section 110.3 of the Florida Building Code requires the under construction elevation certificate to be submitted to the building official prior to vertical framing.**

The *second* EC is called for when the home and site (finished grade) are completed and nearing the final inspection. It again documents compliance of the floor and additionally documents other items like finished grade, equipment (such as air conditioning systems, these items must meet the elevation requirements also), flood venting if needed, etc.

- **NOTE: Per section 110.3 of the Florida Building Code, the final inspection and Certificate of Occupancy cannot be given until this second EC (Finished Construction EC) is provided for the file.**

For additions to existing homes located in flood zones, please make an appointment with staff to consider the applicable rules. “V” zones have wave action in addition to flooding hazards. They must meet all the above and they have unique foundation requirements that will need structural engineering. If you have questions, please call for assistance.

Why all the paperwork? FEMA provides low cost flood insurance for communities that make sure their new homes and additions are safe from flooding, and it’s the law. Need further information? For questions regarding your construction, call 850-233-5100, regarding the FEMA flood insurance program go to <https://www.fema.gov/national-flood-insurance-program> or call CRS Coordinator at 850-233-5100.